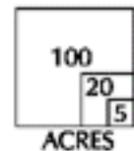


FRAMEWORK LEGEND:

-  Commercial Development Centers
1 - Neighborhood Level Center
(1 - 2 Mile Market/Service Radius)
-  2 - Community Level Center
(3 - 5 Mile Market/Service Radius)
-  3 - "Power" Center
(5 + Mile Market/Service Radius)
-  Mixed Use Opportunity
Transit Oriented Development Center
-  Existing Interchange
-  Potential Interchange
-  METRA Commuter Rail Station
-  Commercial Development Corridor
-  Principal Open Space Corridors
-  Focal Point / Gateway Identity
-  Principal Road Network
-  Proposed Road Connections
-  Suburban / Rural Transition
-  Pedestrian Access Improvement
-  Village Boundary
- Inter-Governmental Agreement
Boundary Line
- Regional Bike Path

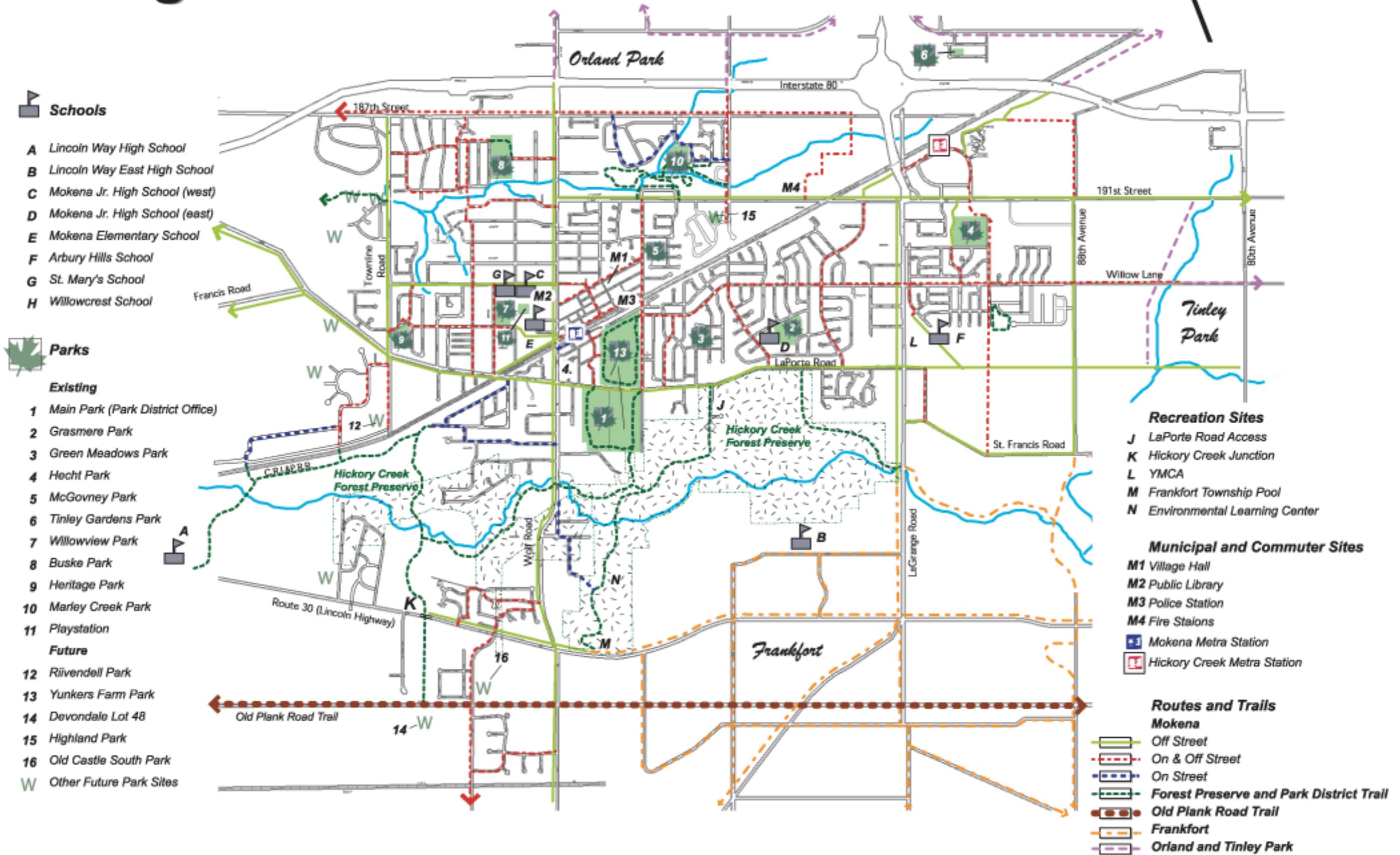
Framework Plan Map

Village of Mokena Comprehensive Plan

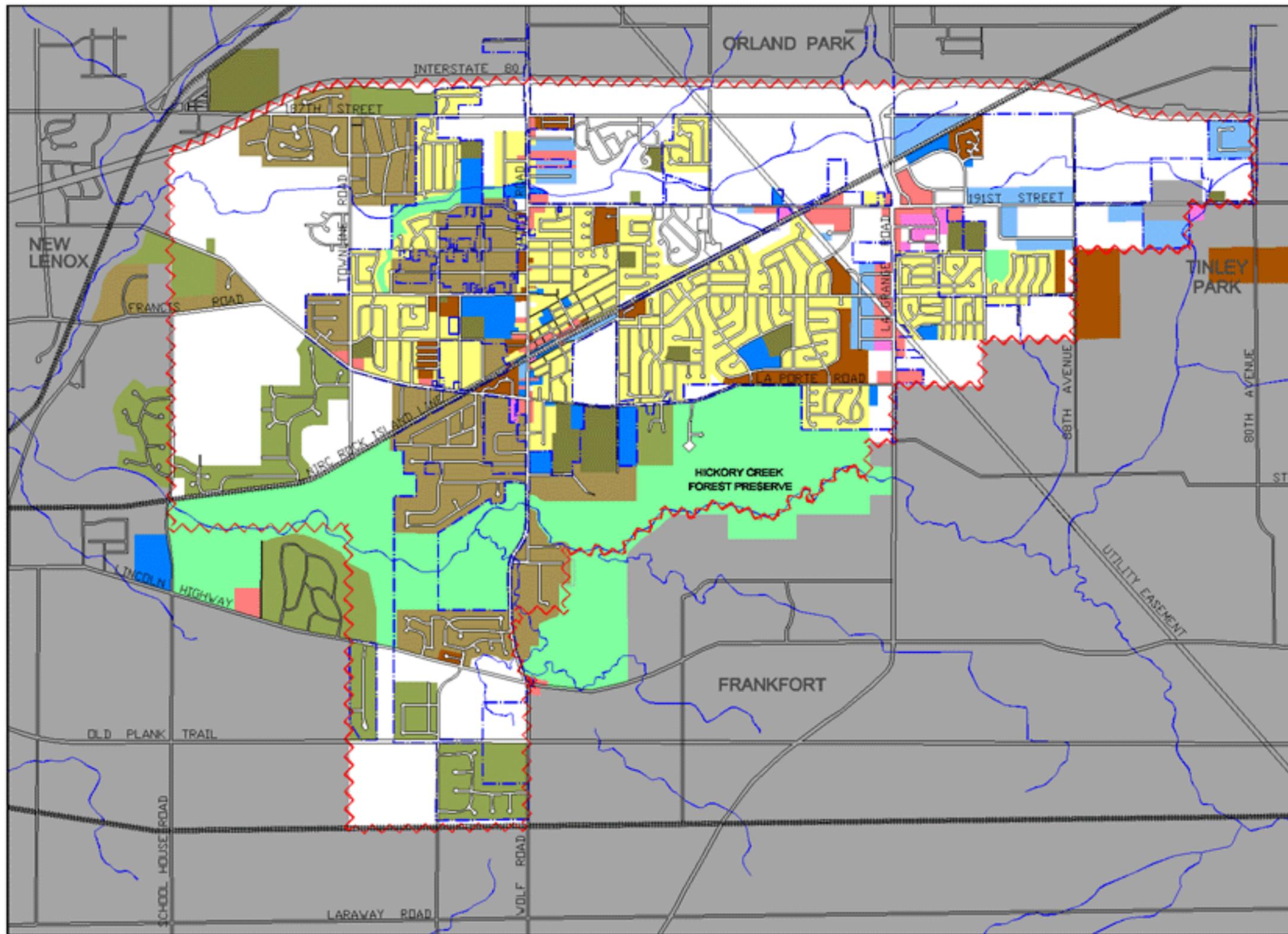


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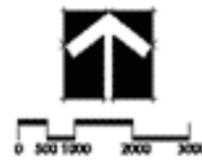
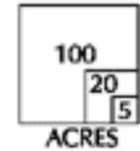
Village of Mokena



Bicycle Route and Trail Map

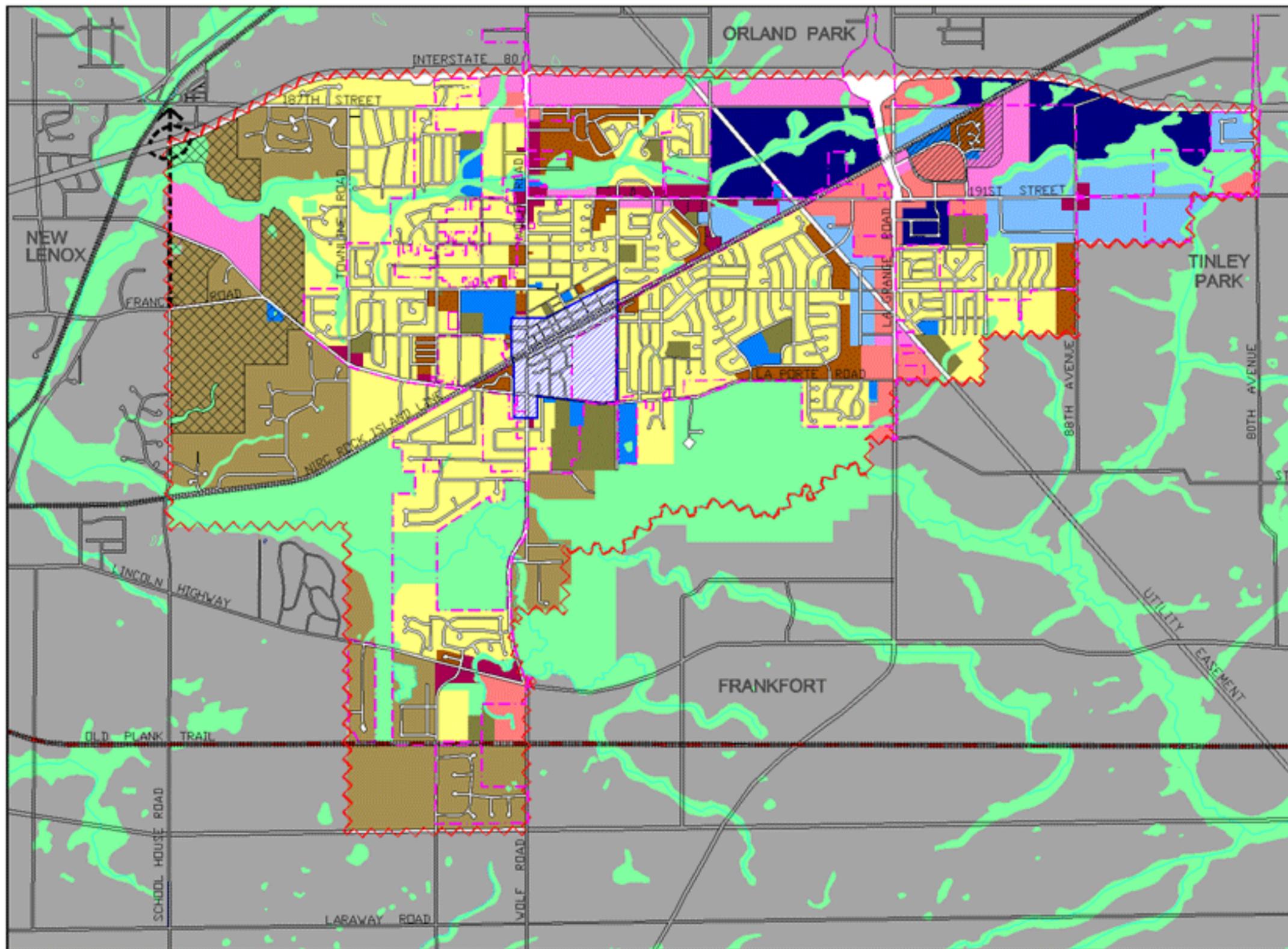


- Rural Residential
- Estate Residential
- Single-Family Residential
- Multiple-Family Residential
- Office
- Commercial
- Mixed-Use
- Industrial
- Institutional
- Parks
- Open Space
- Inter-Governmental Agreement Boundary Line
- Village Boundary

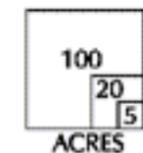


Existing Land Use

Village of Mokena Comprehensive Plan

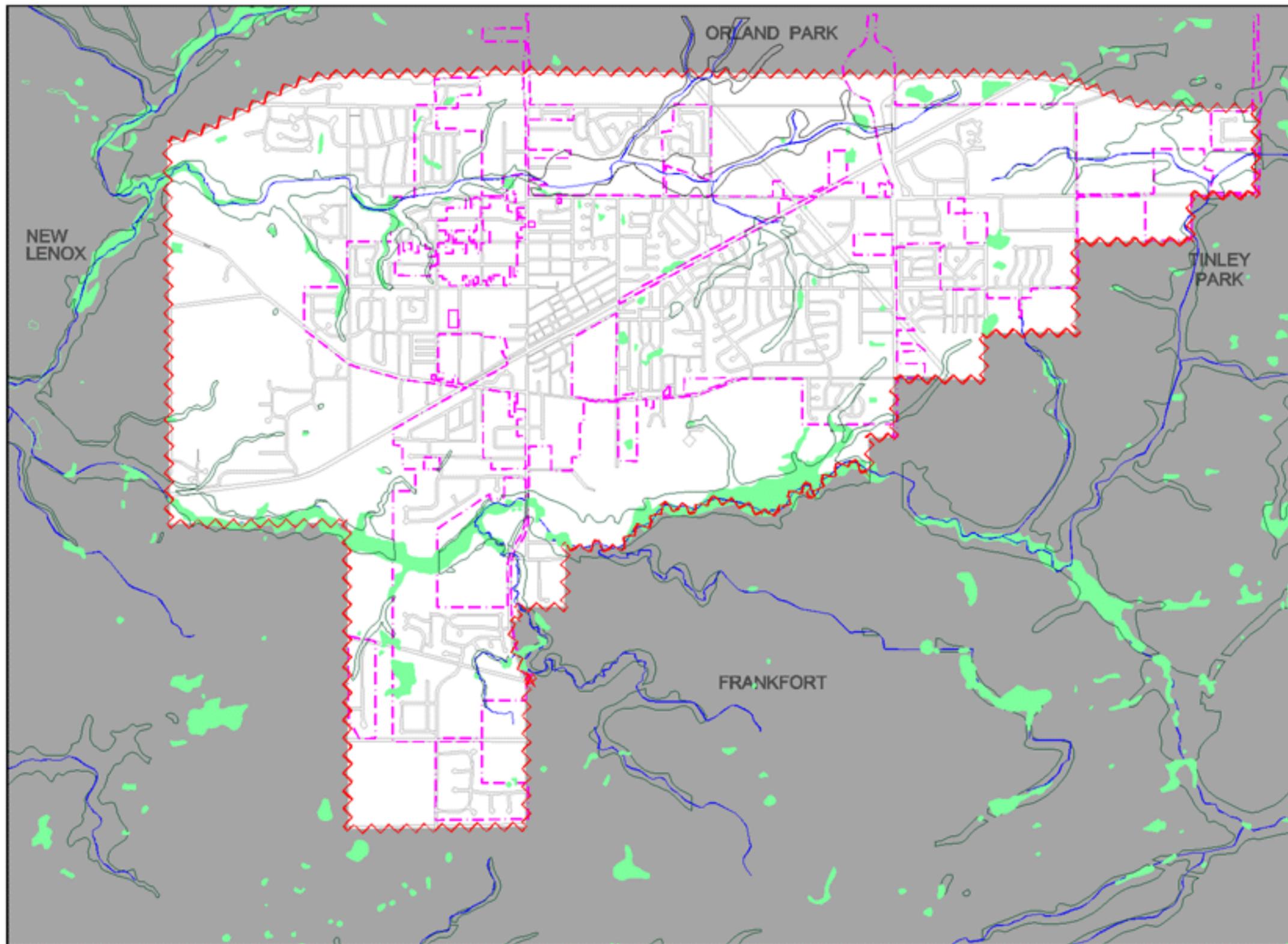


-  Low Density Single-Family Residential
1-2 Dwelling Units per Net Acre
-  Medium Density Single-Family Residential
2-4 Dwelling Units per Net Acre
-  Multiple-Family Residential
7.5 Max. Dwelling Units per Net Acre
-  Village Center
Central District Plan to be Determined
-  Neighborhood Commercial
-  General Commercial
-  Office
-  Office Research / Business Park
-  Limited Industrial
-  Institutional
-  Parks / Recreation
-  Open Space / Conservation
-  Open Space Community
-  Mixed-Use Transit Oriented Development
-  Proposed Road Extensions
-  Future Interchange
-  Village Boundary
-  Inter-Governmental Agreement Boundary Line



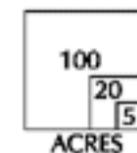
Future Land Use

Village of Mokena Comprehensive Plan



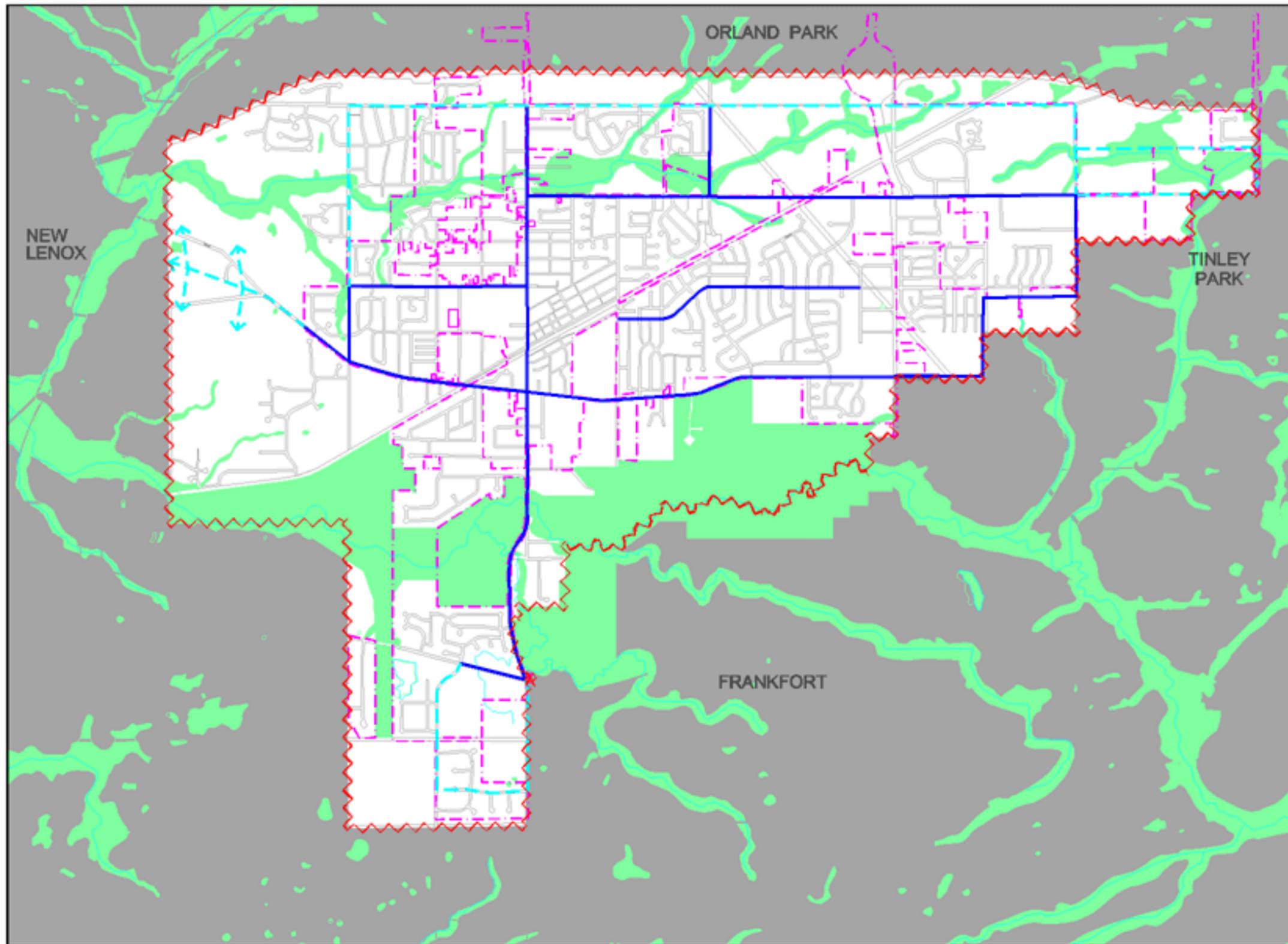
NATURAL RESOURCES LEGEND:

-  Streams
-  Wetlands
-  100-Year Floodplain
-  Village Boundary
-  Inter-Governmental Agreement Boundary Line



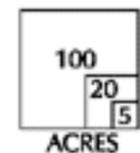
Natural Resources

Village of Mokena Comprehensive Plan



WATER SERVICE LEGEND:

-  Existing Water Lines
-  Future Water Lines
-  Village Boundary
-  Inter-Governmental Agreement Boundary Line
-  Principal Open Space Corridors

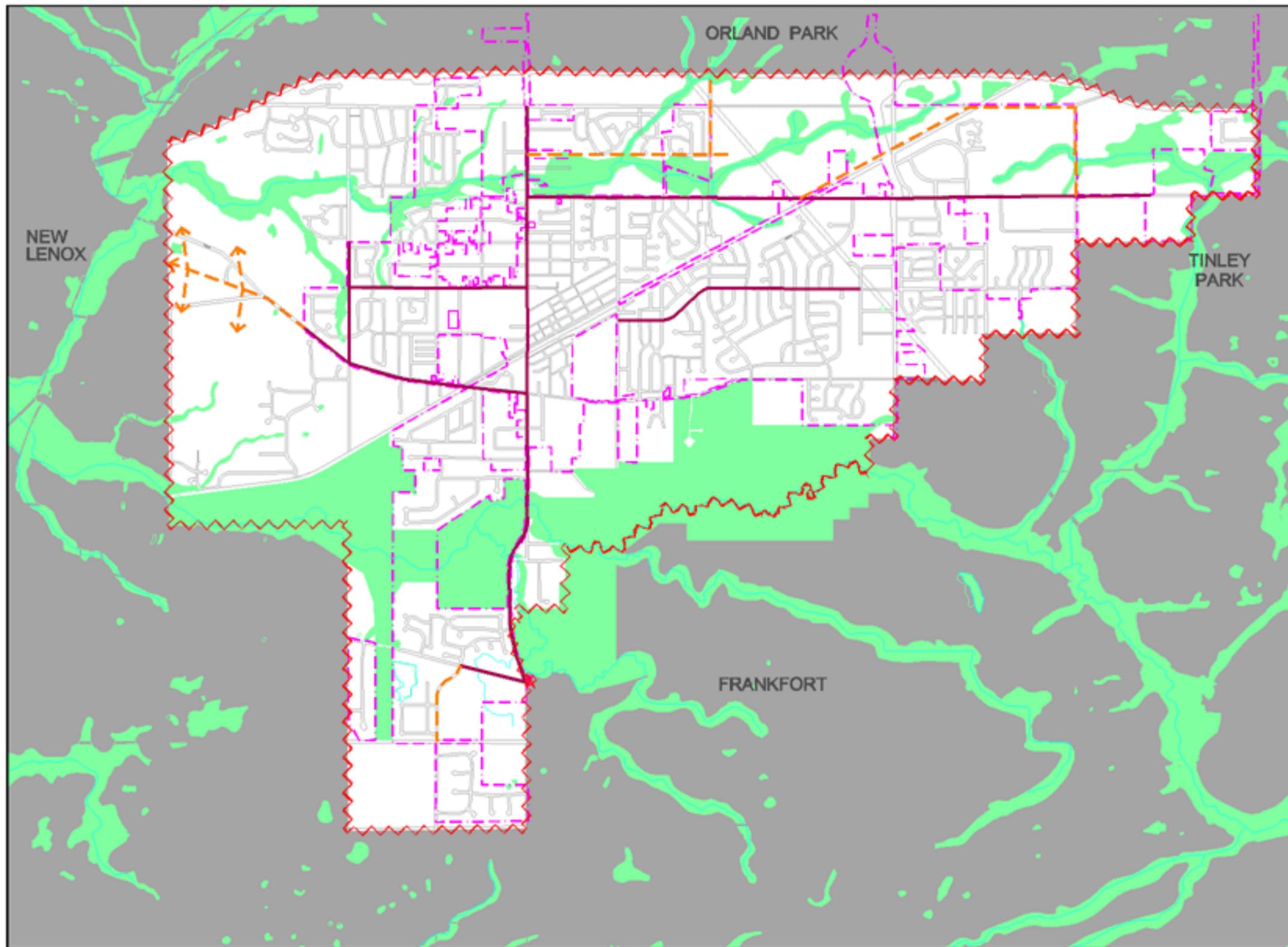


Municipal Water Service

Village of Mokena Comprehensive Plan

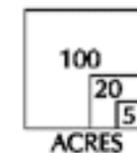


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SEWER SERVICE LEGEND:

-  Existing Sewer Lines
-  Future Sewer Lines
-  Village Boundary
-  Inter-Governmental Agreement Boundary Line
-  Principal Open Space Corridors

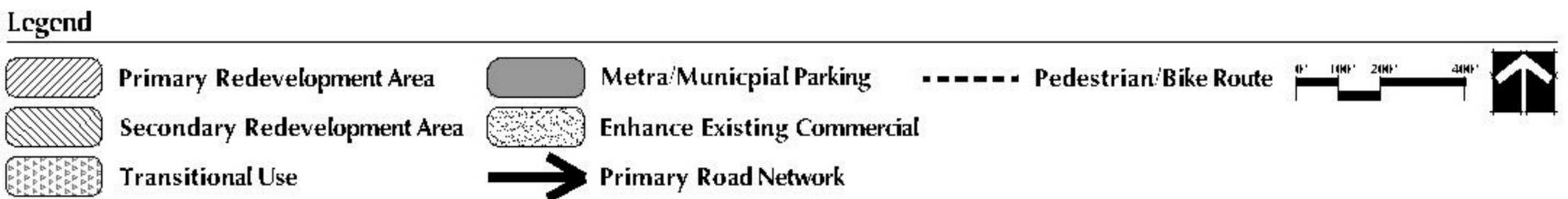
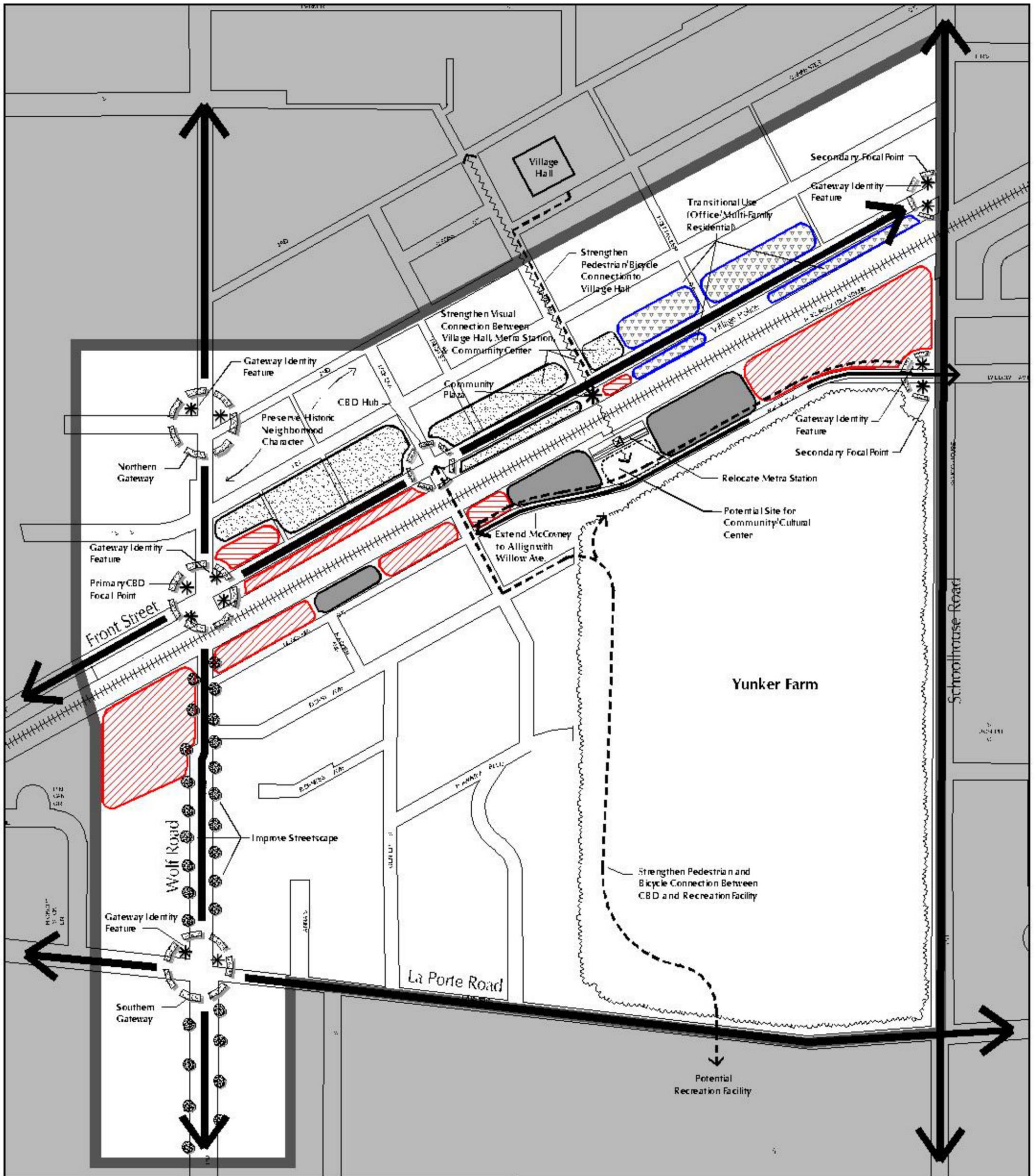


Municipal Sewer Service

Village of Mokena Comprehensive Plan



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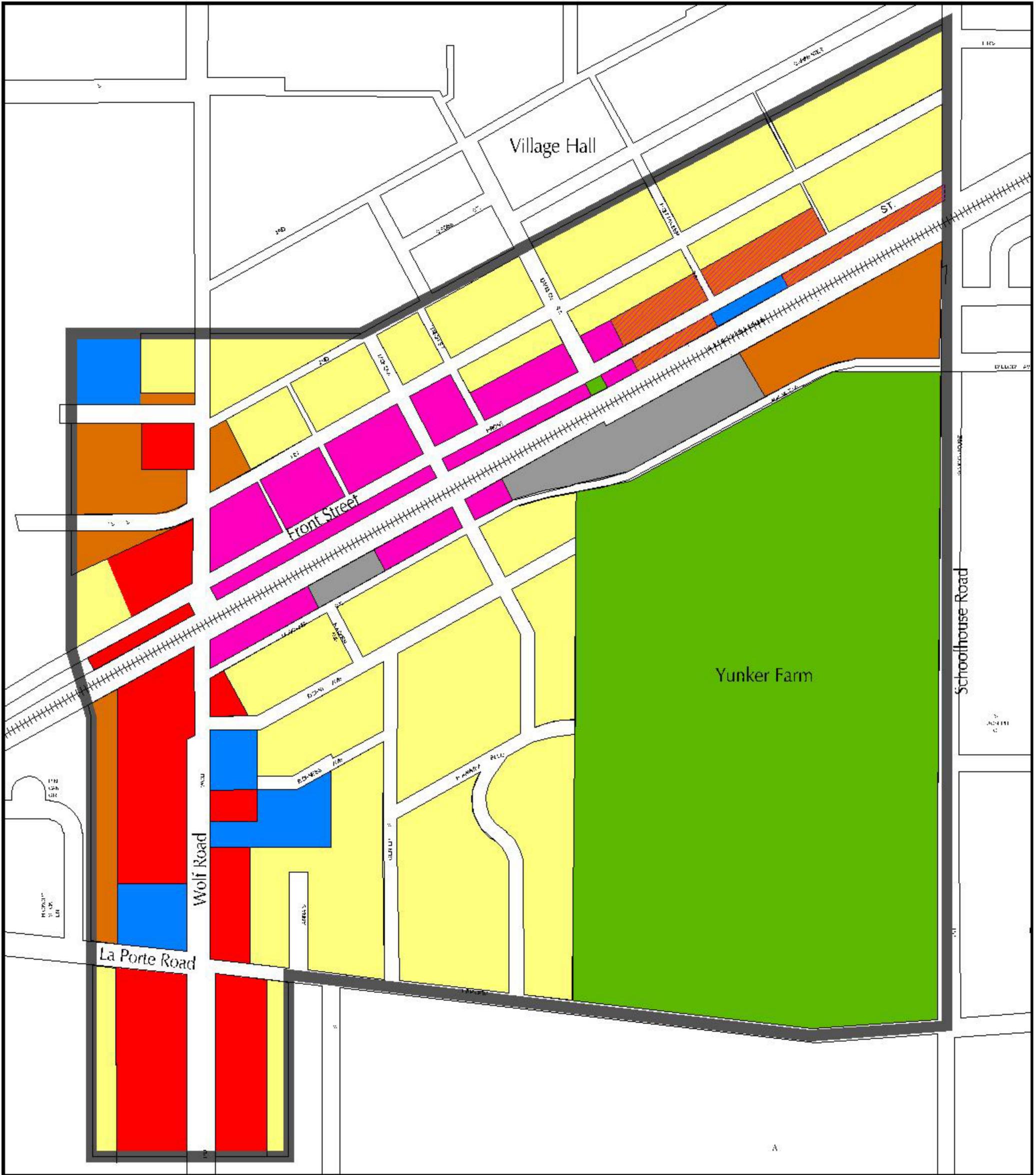


DOWNTOWN FRAMEWORK PLAN

VILLAGE OF MOKENA COMPREHENSIVE PLAN

TESKA ASSOCIATES INC.

June 2002



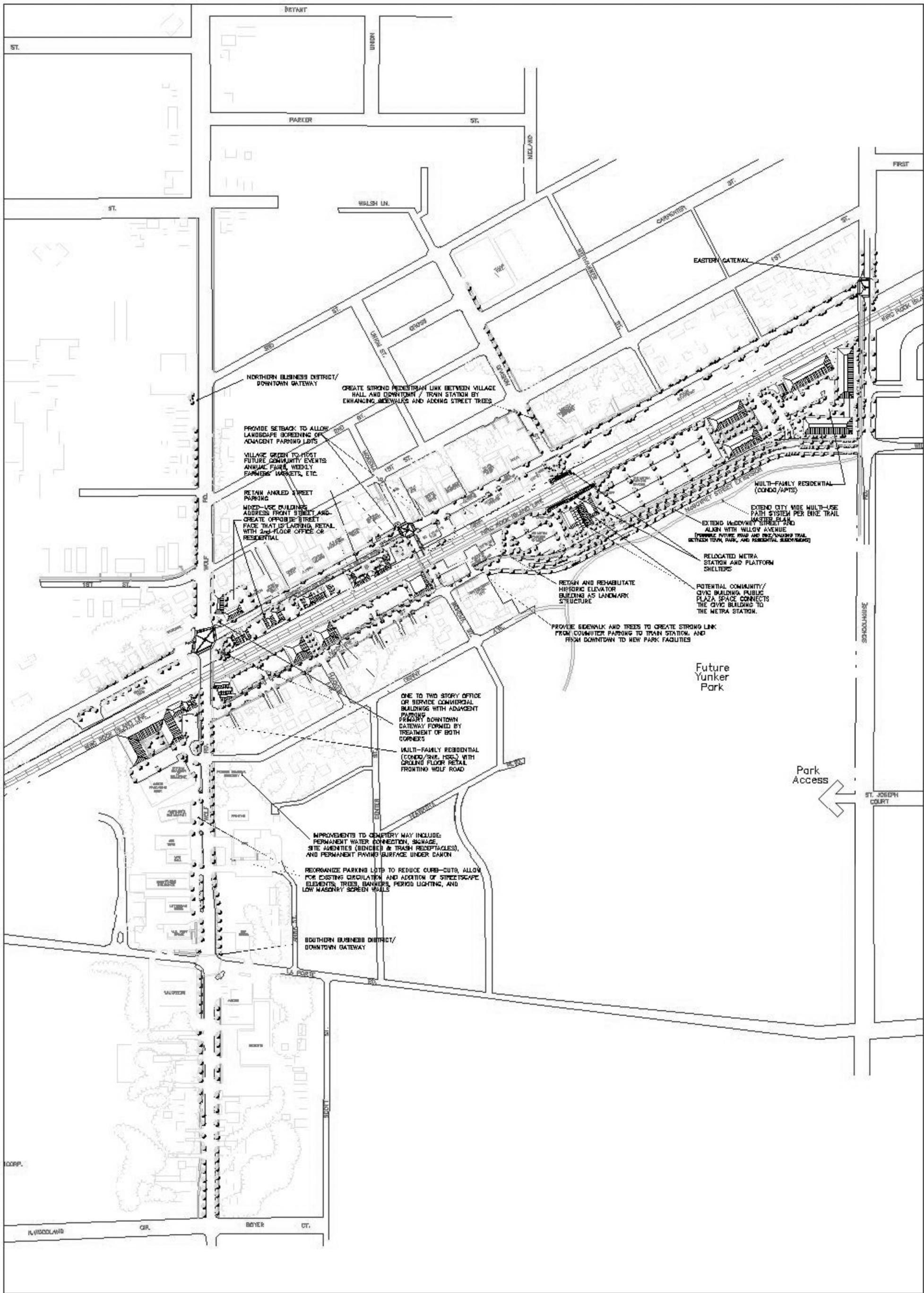
Legend

- | | | |
|---------------------------|---------------------------|-------------------------|
| Single Family Residential | Neighborhood Commercial | Parks/Recreation |
| Multi-Family Residential | Village Center Commercial | Metra/Municipal Parking |
| Institutional | Village Center Mixed Use | |



DOWNTOWN FUTURE LAND USE PLAN

VILLAGE OF MOKENA COMPREHENSIVE PLAN



June 26, 2002



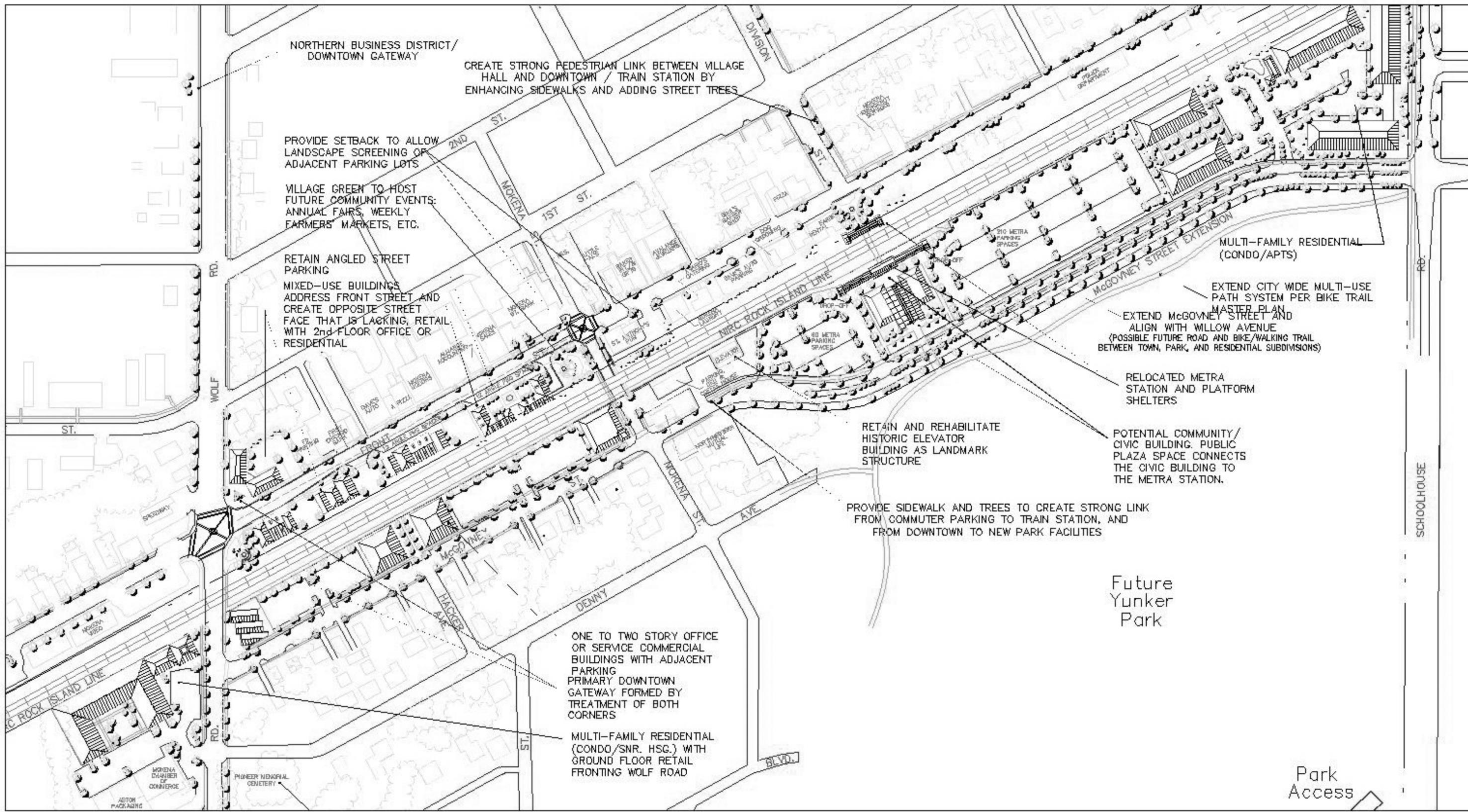
Downtown Concept Plan

Village of Mokena

TESKA ASSOCIATES INC.

Not to Scale

Graphic Design - Planning Department
300 N. Main Street, Suite 100
Mokena, IL 60451
630-285-1111



Core Downtown Area
Downtown Concept Plan
Village of Mokena

June 26, 2002

TESKA ASSOCIATES INC.

Community Planning • Resource Management
Site Design • Landscape Architecture
827 Grove Street
Evanston, Illinois 60201
847.869.2015

Not to Scale 

Line of "Demarcation" to Serve as a Dense Buffer Between Different Land Uses

Interstate 80

Potential Interchange

Access from 187th Street

OPEN SPACE

12,500 S.F. Cluster

17,500

15,000

15,000

17,500

17,500 (Optional S.F. Cluster)

Potential Future Water Tower Sites

OPEN SPACE

20,000

Existing Residential

Reagan Road

OFFICE PARK

Cemetery

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Water
Tower



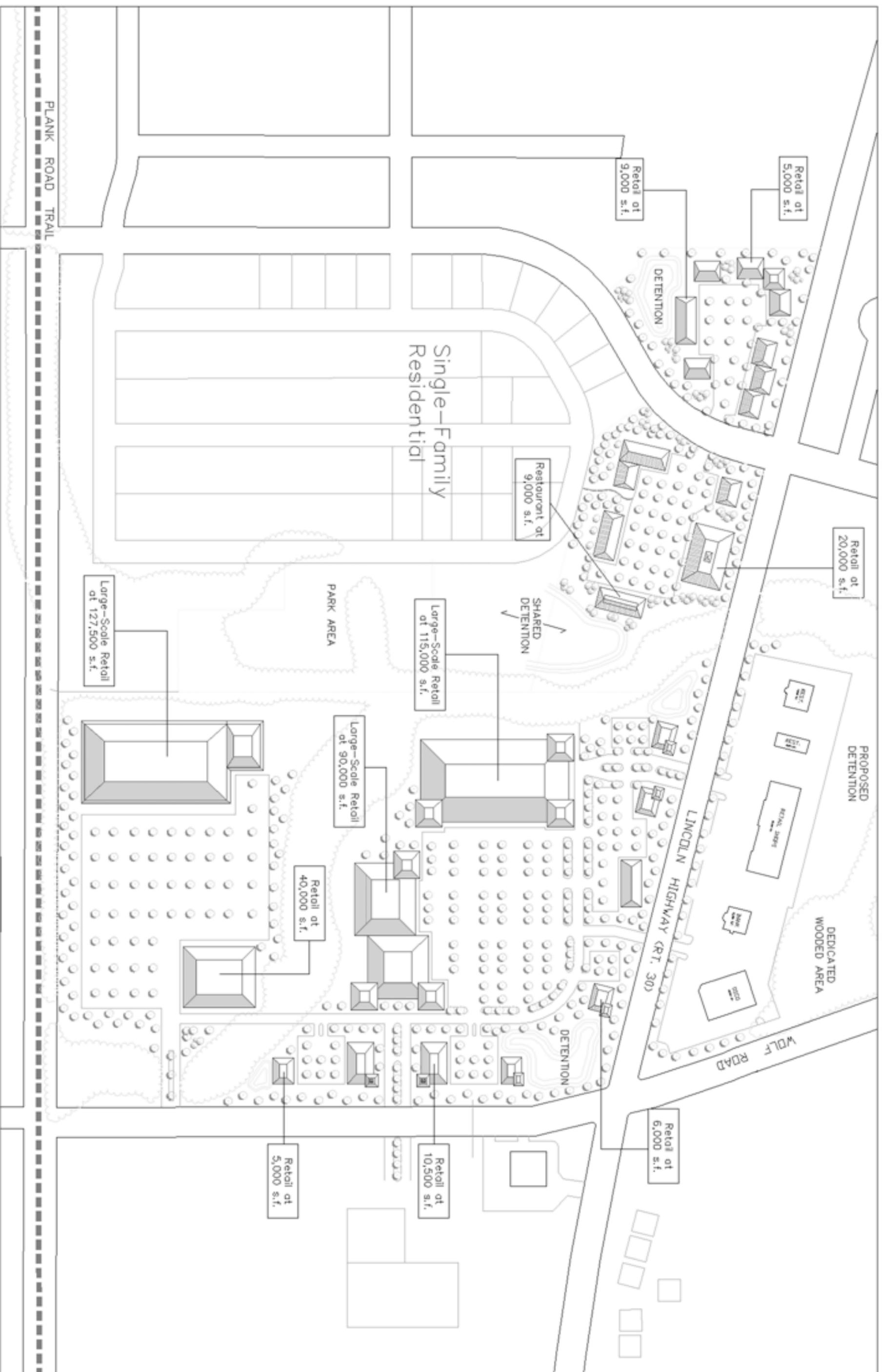
WESTERN GROWTH AREA STUDY
MOKENA, ILLINOIS

JUNE 2002





VILLAGE of FRANKFORT



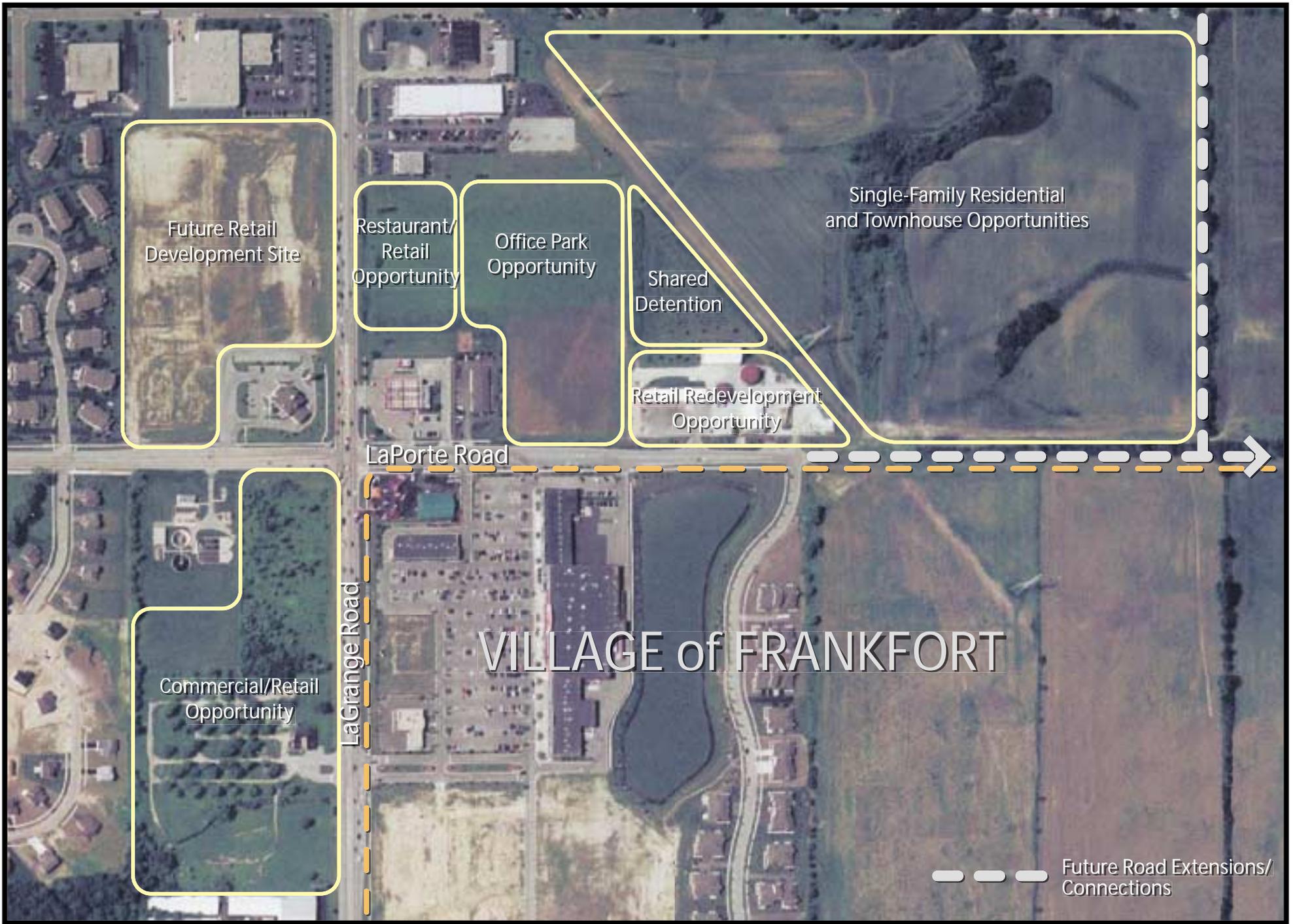
Route 30 & Wolf Road Concept Plan

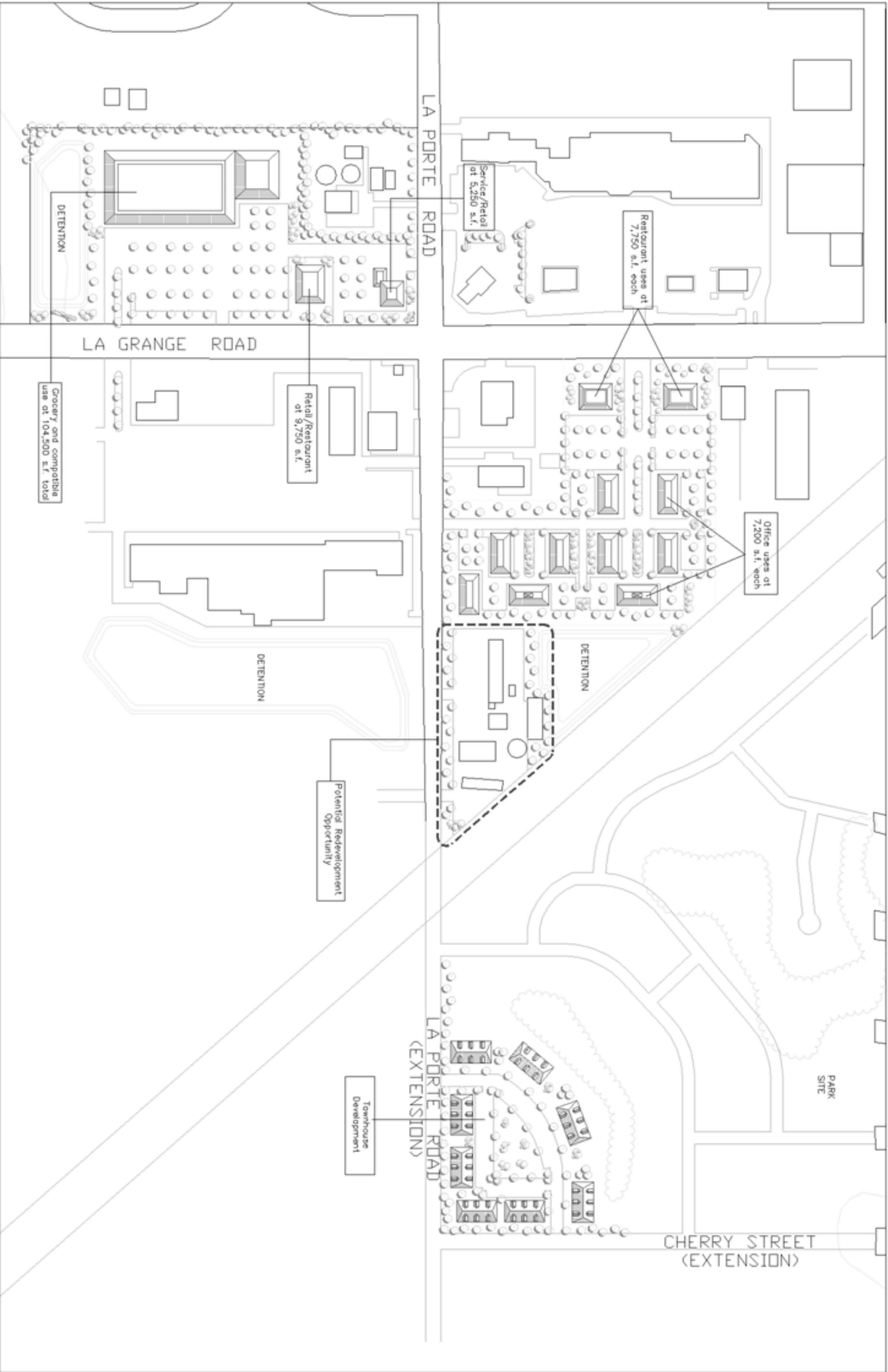
Village of Mokena

*Concept Plans for illustrative purposes only – final development plan may be different with regards to building type, use, location, size, and site amenities.



June 2002

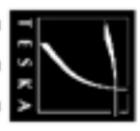




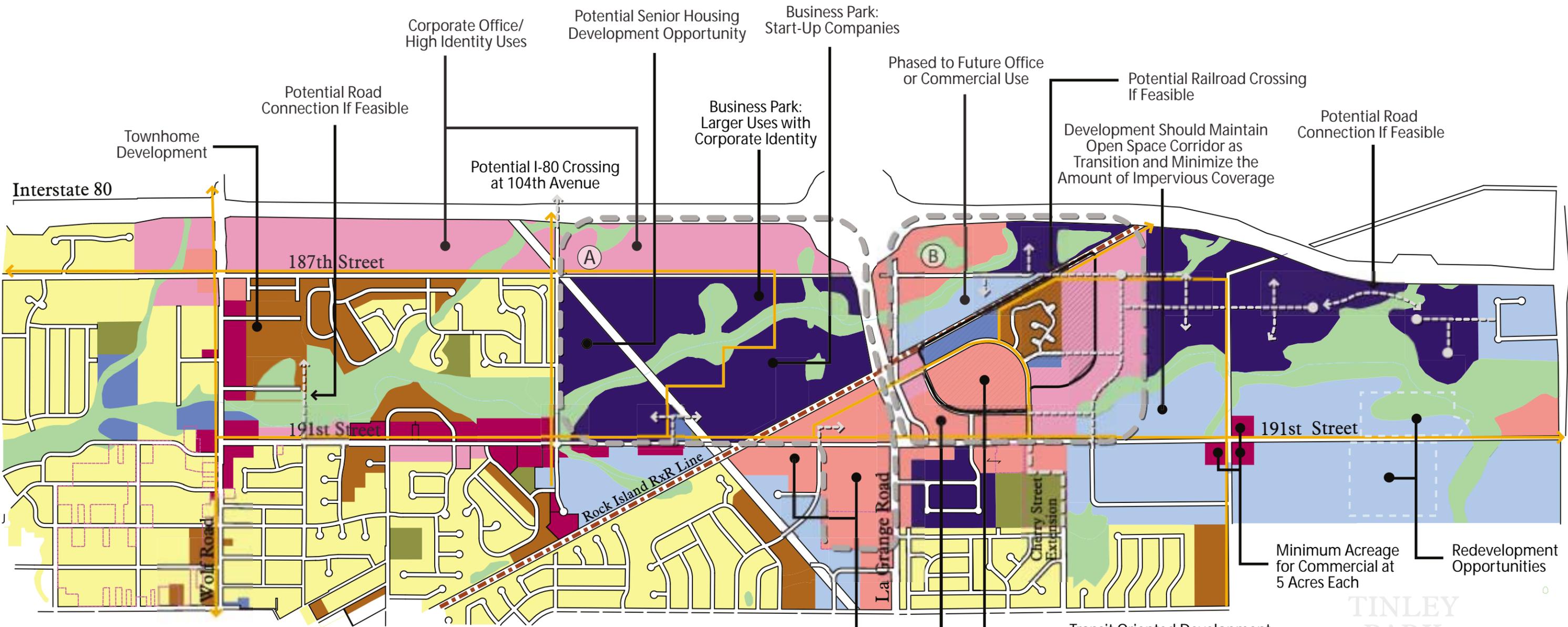
La Porte Road & La Grange Road Concept Plan

Village of Mokena

*Concept Plans for illustrative purposes only – final development plan may be different with regards to building type, use, location, size, and site amenities.



June 2002



Sites (A) and (B) Include More Detailed Plans

General Road Connections and Access Points

Major Bike Routes and Trails

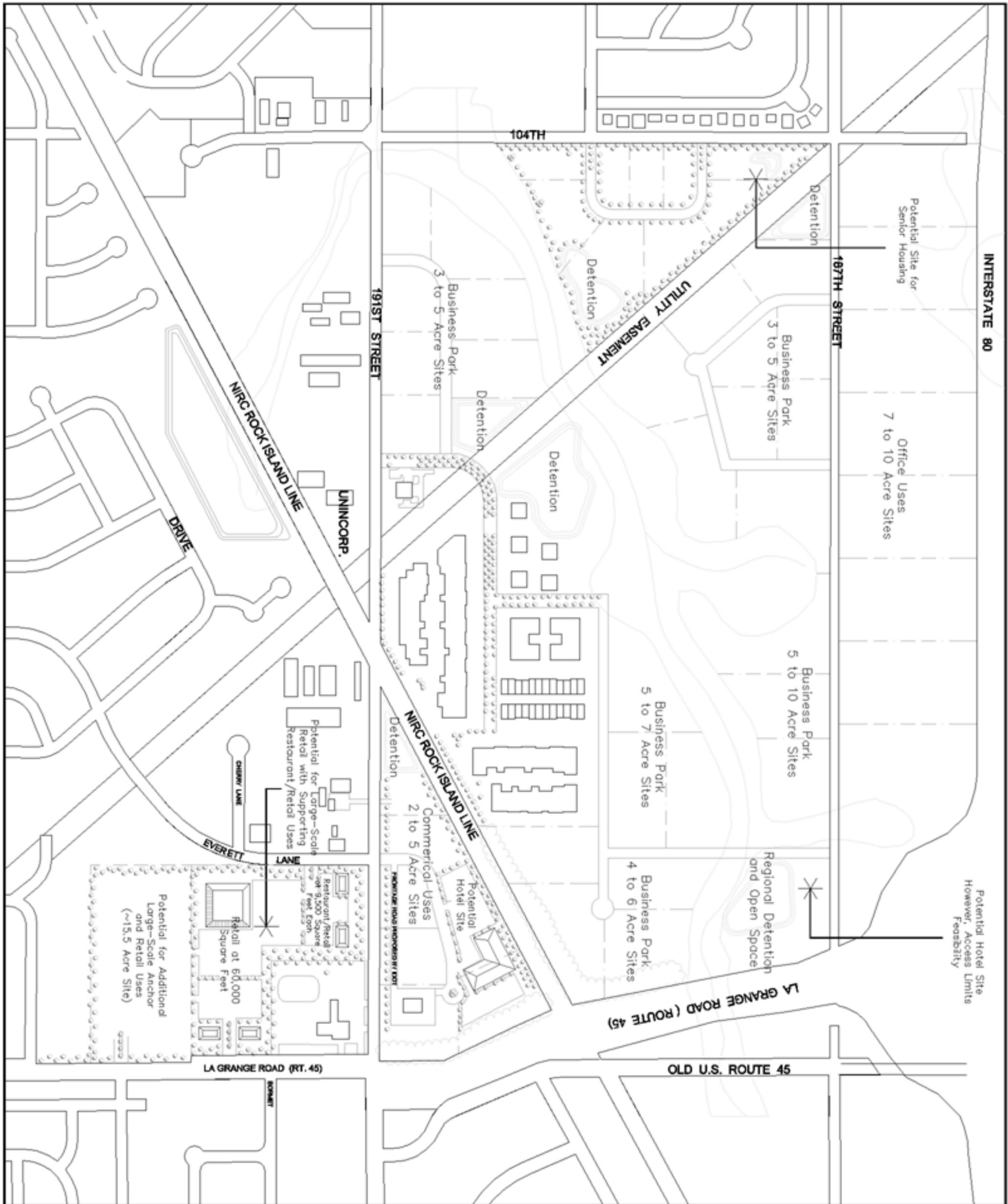
* Area "A" contains environmental features and utility easements that may cause difficulties for development

	Single-Family Residential		Office
	Multiple-Family Residential		Institutional/Public
	General Commercial		Open Space/Preservation
	Neighborhood Commercial		Parks
	Limited Industrial		Transit Oriented Development
	Business/Office Park		

191st Street Corridor Special Area Plan | Mokena, Illinois | June 2002

TESKA ASSOCIATES, INC. ■ 627 Grove Street ■ Evanston, Illinois ■ 847.869.2015



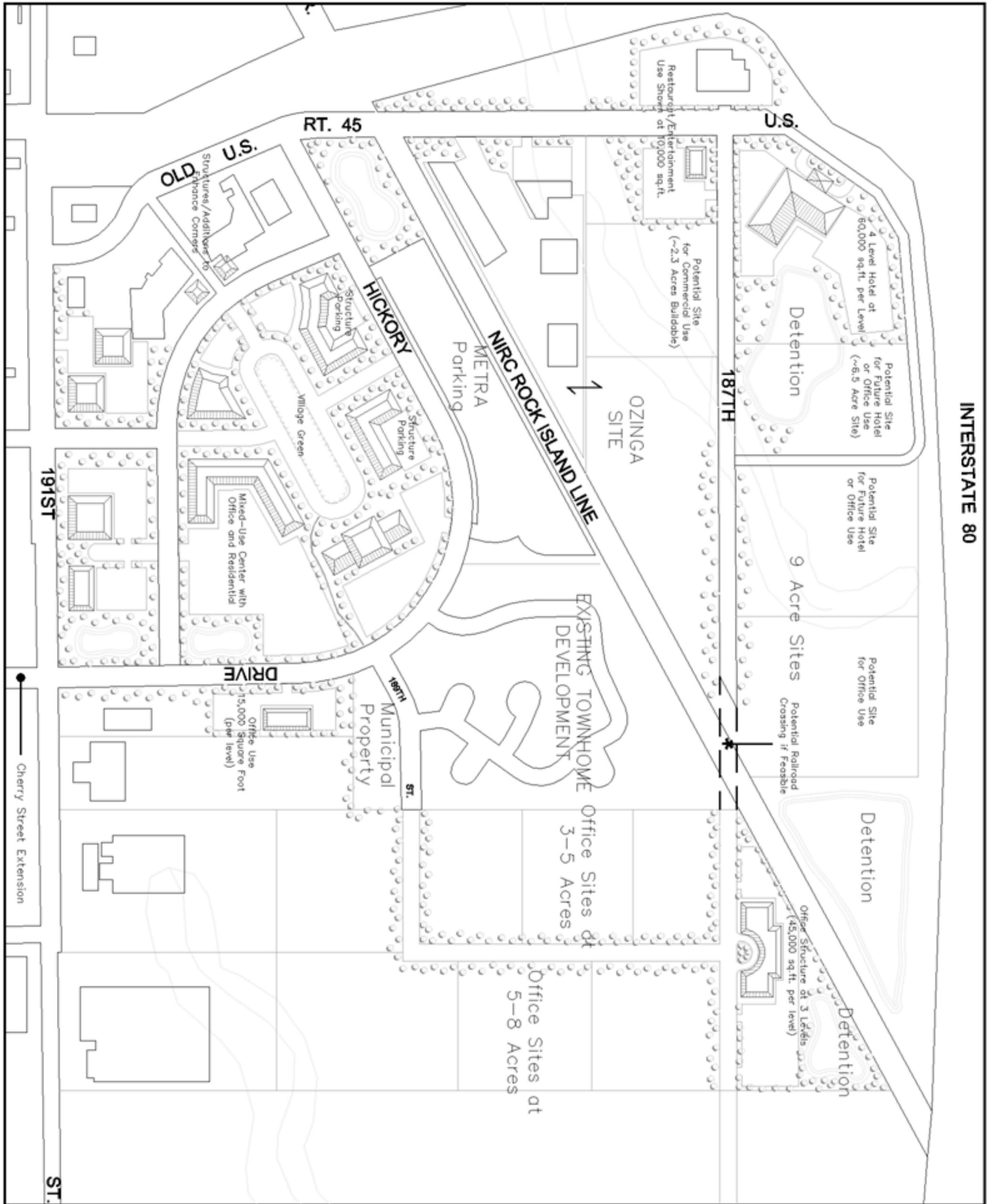


191st Street Concept Plan - Site Area "A"

Village of Mokena



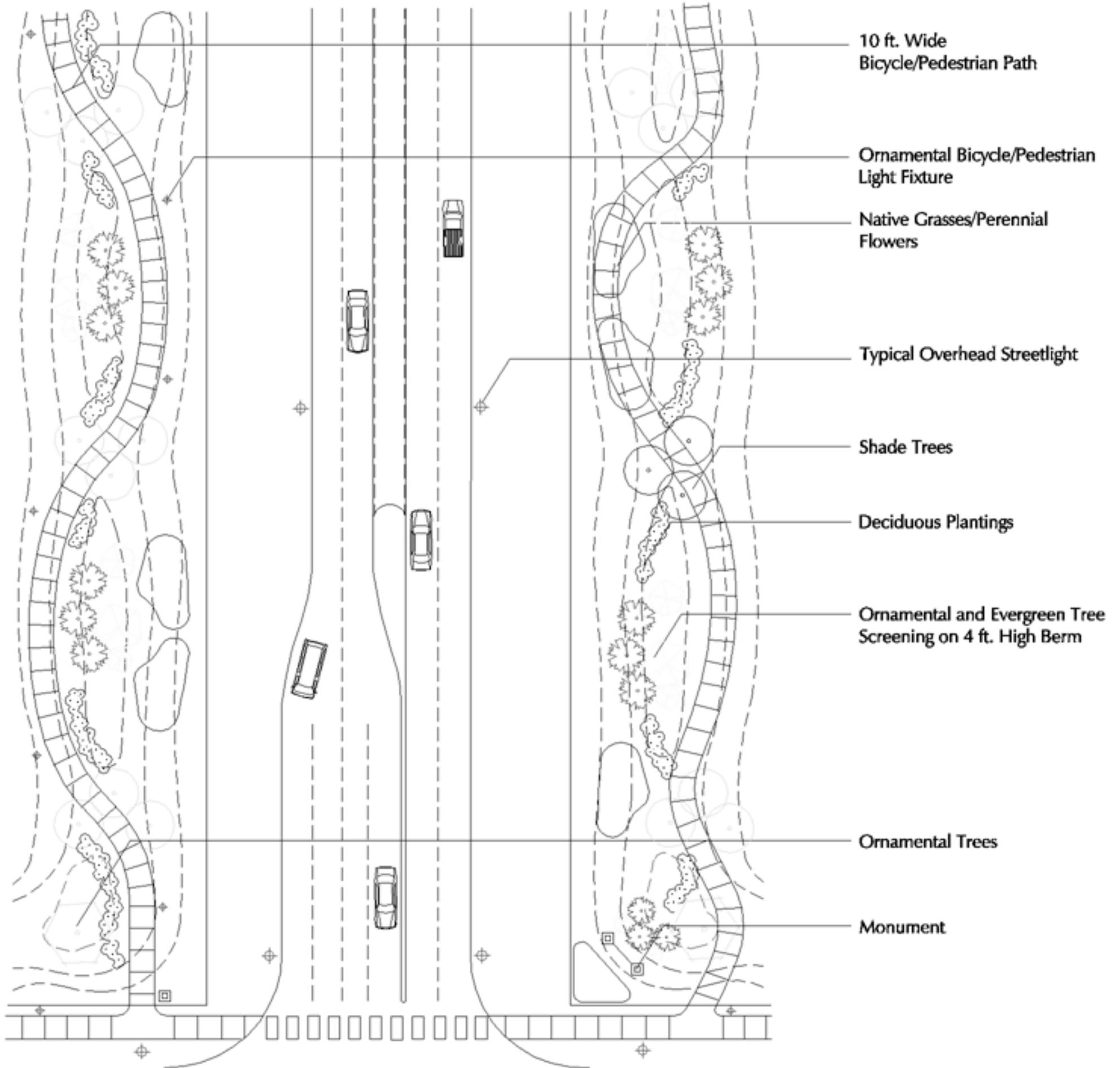
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191st Street Concept Plan - Site Area "B"
 Village of Mokena

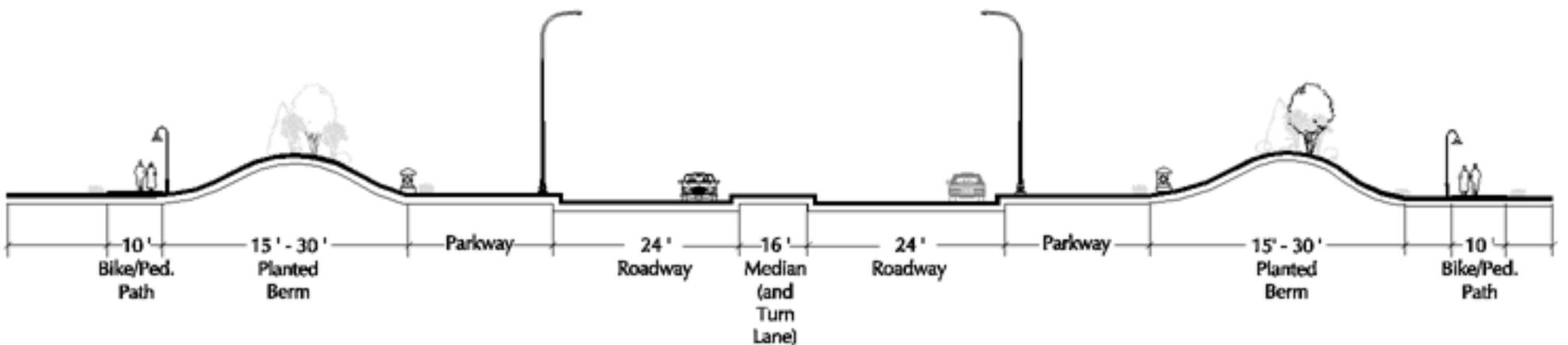


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Typical Plan View of 191st Street Corridor

Not To Scale



Typical Roadway Section

Not To Scale