

VILLAGE OF MOKENA

Community Development Department

Phone: 708-479-3930 Fax: 708-479-1137 E-mail: communitydevelopment@mokena.org

ABOVE GROUND POOL CHECKLIST

CHECK ALL ITEMS PRIOR TO APPLYING FOR PERMIT

PROPERTY ADDRESS: _____

- ❑ Complete Above Ground Swimming Pool Application with signed Homeowners Declaration Rider & Above Ground Pool Checklist.
- ❑ If pool does not have an attached railing with a self-closing and self-locking gate you will also need a **Fence Permit**.
- ❑ A survey must be submitted **showing the pool location and placement** on the lot including the distance to the property lines and house (a minimum of 10' from property line, 5' from the house is allowed.) **Include all existing and proposed fence locations.**
 - **Note: It is the property owner's responsibility to establish the location of property lines and the proper placement of the pool.**
- ❑ Call **JULIE at 1-800-892-0123** to mark buried electrical lines and underground utilities.

ELECTRIC REQUIREMENTS

- ❑ Circle if you have **overhead** or **underground electric service** to your home. Show the location of your electric meter panel at the house on the drawing.
- ❑ Indicate how far the **nearest existing electric** to the pool is on the survey. There shall be no general purpose electrical outlets within 10' of your pool unless GFCI protected.

POOL ACCESSORIES

- ❑ The pump must be double insulated (ask your sales man.)
- ❑ Are you planning a gas or electric heater for the pool? **Yes / No** if yes please supply a copy of the spec sheet or pamphlet in regards to the heater. Ground rod needs to be installed & bonded to heater & pump housing using #8 solid wire. Gas & Electric trenching must be separate trenches at least one foot apart.

POOL ACCESSORIES Continued

- ❑ The **Pump & Filter assembly** shall be located as far away from neighboring residential dwellings as possible.

ENGINEERING COMMENTS

- ❑ **Spoils from the pool excavation** shall be properly disposed of and shall not be used to alter existing lot grade.
- ❑ **Drainage of the pool** for maintenance purposes shall not encroach on adjacent property and shall be a minimum of 10 feet off the property line. Drainage of the pool should utilize the drainage easement/grade as defined by the approved grading plan.
- ❑ **Homeowner is responsible for complete restoration of public utilities, parkway and sidewalk** that may be damaged due to the construction of the pool.

This checklist must be submitted with the application and all items must either be shown on the drawing or on this form. Absolutely no ground rods!!

Electricity & Water Do Not Mix. Remember the Life you save could be your own Childs.

Property Owner: _____

Date: _____

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ABOVE GROUND SWIMMING POOL
PERMIT APPLICATION

Permit No.: _____ Date Received: _____

SITE DESIGNATION:

Address of Construction: _____

Lot No: _____ Subdivision: _____

PROPERTY OWNER INFORMATION:

Property Owner: _____ Phone: _____

Address: _____ City: _____ St: _____ Zip: _____

Homeowners Declaration Rider must be completed and attached with permit application.

Note: It is the property owner's responsibility to establish the location of property lines and the proper placement of the pool.

APPLICANTS INFORMATION:

I HEREBY CERTIFY THAT I HAVE READ, UNDERSTAND AND AGREE TO CONFORM TO ALL GOVERNING INFORMATION AND REGULATIONS SET FORTH BY THE VILLAGE BOARD OF MOKENA.

Applicants Signature: _____

Print Name: _____ **Phone:** _____

Please Check if Applicant is Owner _____ or Contractor _____

Attach **Copy of Contract** to Permit _____

POOL, CONTRACTOR, & FENCE INFORMATION (Name, Address, Phone No.):

Estimated Value of Pool: _____ **Size of Pool:** _____

Pool Installer: _____ **Phone:** _____

Excavator: _____ **Phone:** _____

Electrical Contractor: _____ **Phone:** _____

Heater Contractor: _____ **Phone:** _____

DESCRIPTION OF FENCE PROTECTION: Complete where indicated

Do you have an Existing Fence? Yes / No Height & Type of Fence _____

Is Fence attached to Pool railing with a self-closing and self-locking gate? Yes / No

If you answered No to all the above a separate Fence Permit is required & must be submitted with this permit application.

Fence Contractor: _____ **Phone:** _____

*****FOR OFFICE USE ONLY*****

Zoning Appr: _____ Eng. Appr: _____ Date Issued: _____

Homeowners Declaration Rider Attached: _____ Permit Fee: _____

COMMENTS: _____

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ABOVE GROUND POOL PERMIT INFORMATION

Submit The Following Information When Applying For A Swimming Pool Permit:

- ◆ Completed Pool Permit Application & Above Ground Pool Checklist with signed Homeowners Declaration Rider.
- ◆ Submit a copy of the **survey for the property** indicating the exact location of the Swimming Pool and its setback measurements to the side and rear lot lines & principal structure.
- ◆ Provide information about the **pool such as size, depth, and any deck &/or Fence provisions**.
- ◆ Provide complete **pool construction drawings and manufacturers specifications** on all equipment. All equipment must be UL listed as approved for pool use.
- ◆ Provide a **copy of the contract** between the property owner & contractor.
- ◆ Property owners may give **permission for a contractor** or any other party to apply for the permit and obtain it, but is still responsible.
- ◆ **All contractors doing work in the Village of Mokena must be registered with the Village.**
- ◆ Upon submittal of the application, survey, check off list, and drawings, a review of these documents will be performed. You will be notified when application has been approved and your permit is ready.

SWIMMING POOL REQUIREMENTS:

- **POOL DEFINITION:** Any inflatable or temporary swimming or wading pool that has a capability of raising the water surface to a depth of 24" or greater shall be considered a swimming pool and must be enclosed by a 5' fence.
- **FENCES:** All pools must be located in an area protected by a fence. The fence must be at least five feet in height and made of sturdy materials as approved by the Community Development Department. It must also have a self-closing and latching gate to prevent the unsupervised access of children or animals. Fencing and/or decking with gate must be in place prior to any water being introduced into the pool.
- **OPTION:** If a fence is not feasible, you may attach a protective rail to an above ground pool providing a five foot barrier so long as a lock-up access ladder is used.
NOTE: Temporary safety fences are not to be used beyond a two-week period and shall not be considered "permanent".
- **LOCATION:** Pools shall be located at least 10 feet or 10% whichever is greater from the rear and side property lines, and 5 ft. to the rear of the principal building (house). Swimming pools shall not be located in the exterior side yard of a corner lot. **It is the Property Owners responsibility to establish the location of property lines & the proper placement of the pool.**

ELECTRICAL REQUIREMENTS

- A dedicated **GFCI Electrical Outlet** for the pump motor may be allowed but no closer than 5', nor more than 10', from the inside wall of the pool.
- The feed from your house to the pump must be buried in **heavy rigid metal pipe** at least 12 inches below grade. **Absolutely no direct buried cable is allowed.** Wiring to the pump motor must be done with 3 conductors, including a green ground wire minimum size of number 12.

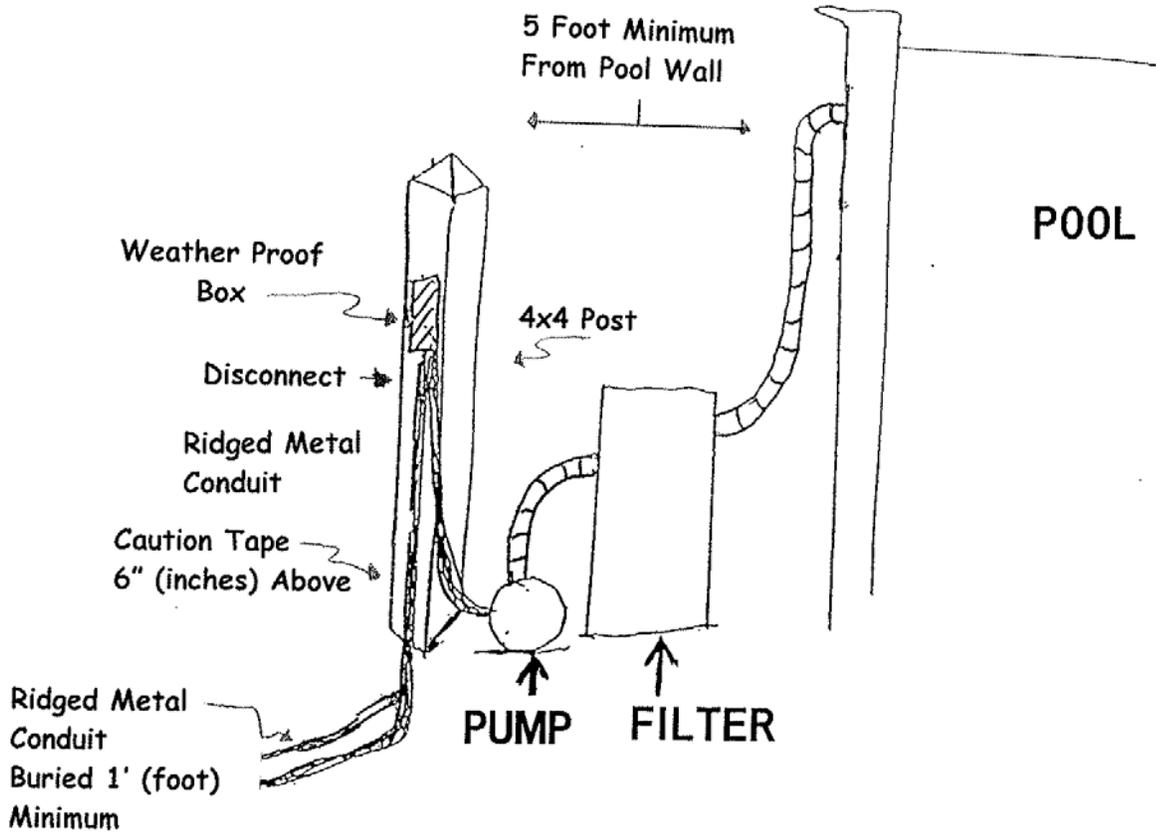
- A number 8 or larger solid copper bonding wire is required between all metallic parts of the pool structure, pump motor, and other metallic parts within 5' of the inside wall of the pool. Walls of a metal pool structure shall be bonded in four uniformly spaced points, with correct lugs, around the perimeter of the pool.
- There must be a disconnecting means at the pump. (GFCI receptacle is acceptable)
- All pool wiring shall conform to Article 680 of the 2005 National Electrical Code.
- **ELECTRIC:** *All electrical devices must be GFCI protected* and all outlets must have ground fault circuit interrupters. It is strongly suggested that your pool electrical contractor confirm any questions regarding electrical requirements with the Village Electrical Inspector prior to starting work. The Electrical Inspector can be reached at (708) 479-3930.
- **HEATERS:** Gas and electric runs must be in separate trenches at least one foot apart.
- **INSPECTIONS:**
 1. The *underground piping* from the house to the pool must be inspected prior to backfilling.
 2. A *final Plumbing, Gas Piping, Electrical, & Fencing* inspection is required when all work is completed. **PRIOR TO USE.**
- **DRAINING POOL WATER:**
 1. Cannot be drained directly into a storm water detention or retention basin
 2. Cannot be drained over an adjacent owner's property
 3. Must be drained directly to streets with curb and gutters or to street drainage ditches with closed header, hose or pipeline.
 4. Discharge flow not to exceed two hundred fifty (250) gallons per minute
 5. Cannot be discharged into storm sewer system during periods of rain or storms.
- **OTHER REGULATIONS:** These items represent a summary of the most commonly applied regulations pertaining to residential pool installations. Other regulations may apply. **It is the property owner's responsibility to determine location of lot lines and the proper placement of the pool.**

INSPECTIONS: *Please contact the Community Development Office at 479-3930 to schedule inspections. Inspection of Pool, GFI protection, electrical bonding & fencing is required.*

Permit Fees: Above Ground Pool = \$50.00

Remember to call JULIE at 1-800-892-0123 prior to digging!

SUGGESTED INSTALLATION



HOMEOWNERS DECLARATION RIDER

Permit No.: _____

Date Received: _____

SITE DESIGNATION:

Type of Permit: _____

Address of Construction: _____

Lot No: _____

Subdivision: _____

I hereby certify that I have read, understand and agree to conform to all governing information and regulations set forth by the Village Board of Mokena.

I understand that I am responsible for understanding the private declarations, covenants, conditions, easements, restrictions, and/or bylaws that may apply to my property. I understand that the Village is not responsible for enforcing any private covenants. I certify that the work subject to this permit is not inconsistent with any private covenants that apply to this property and will hold the Village harmless from any actions arising out of a violation of said declarations, covenants, conditions, easements, restrictions, and/or bylaws that may apply to my property.

I hereby certify that the information provided to the Village by the applicant is true and correct and the Village is entitled to rely on said information.

Property Owner

Address

Date

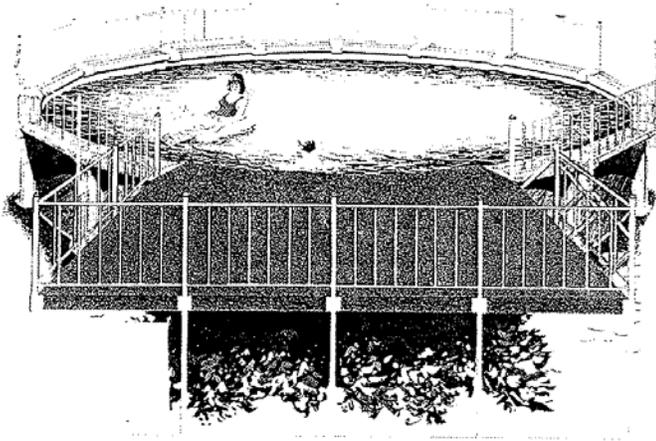
EXAMPLE OF POOL WITH FENCE AROUND TOP



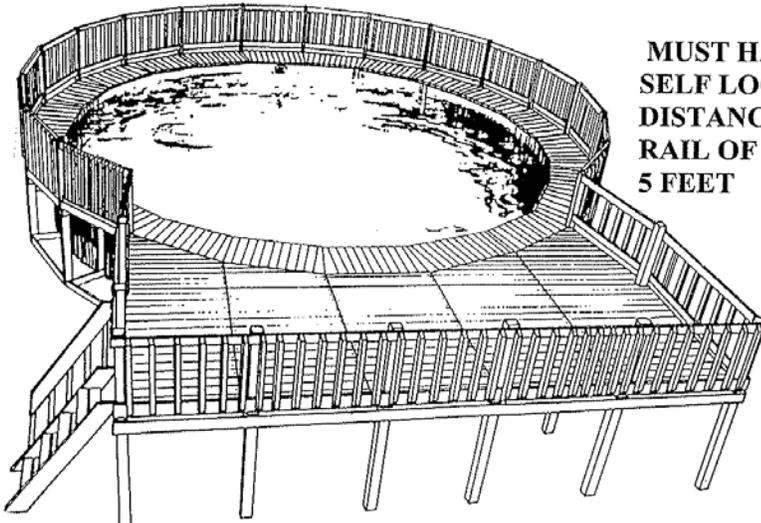
**MUST HAVE A LADDER THAT FOLDS UP AND LOCKS OR A LOCKING GATE AT THE OPENING
DISTANCE FROM BASE OF POOL TO TOP OF FENCE MUST BE A MINIMUM OF 5 FEET**

EXAMPLE OF POOL WITH FENCE AROUND TOP AND DECK AREA

**MUST HAVE LOCKING LADDER OR SELF CLOSING, SELF LOCKING GATE AT STAIRWAY
DISTANCE FROM BASE OF POOL TO TOP OF FENCE MUST BE A MINIMUM OF 5 FEET**



EXAMPLE OF POOL WITH DECK AROUND POOL



**MUST HAVE SELF CLOSING, SELF LOCKING GATE AT STAIRWAY
DISTANCE FROM BASE OF POOL TO TOP RAIL OF DECK MUST BE A MINIMUM OF 5 FEET**

